

Attachment 34

Conceptual Site Plan Design: Neighborhood Property Acquisition



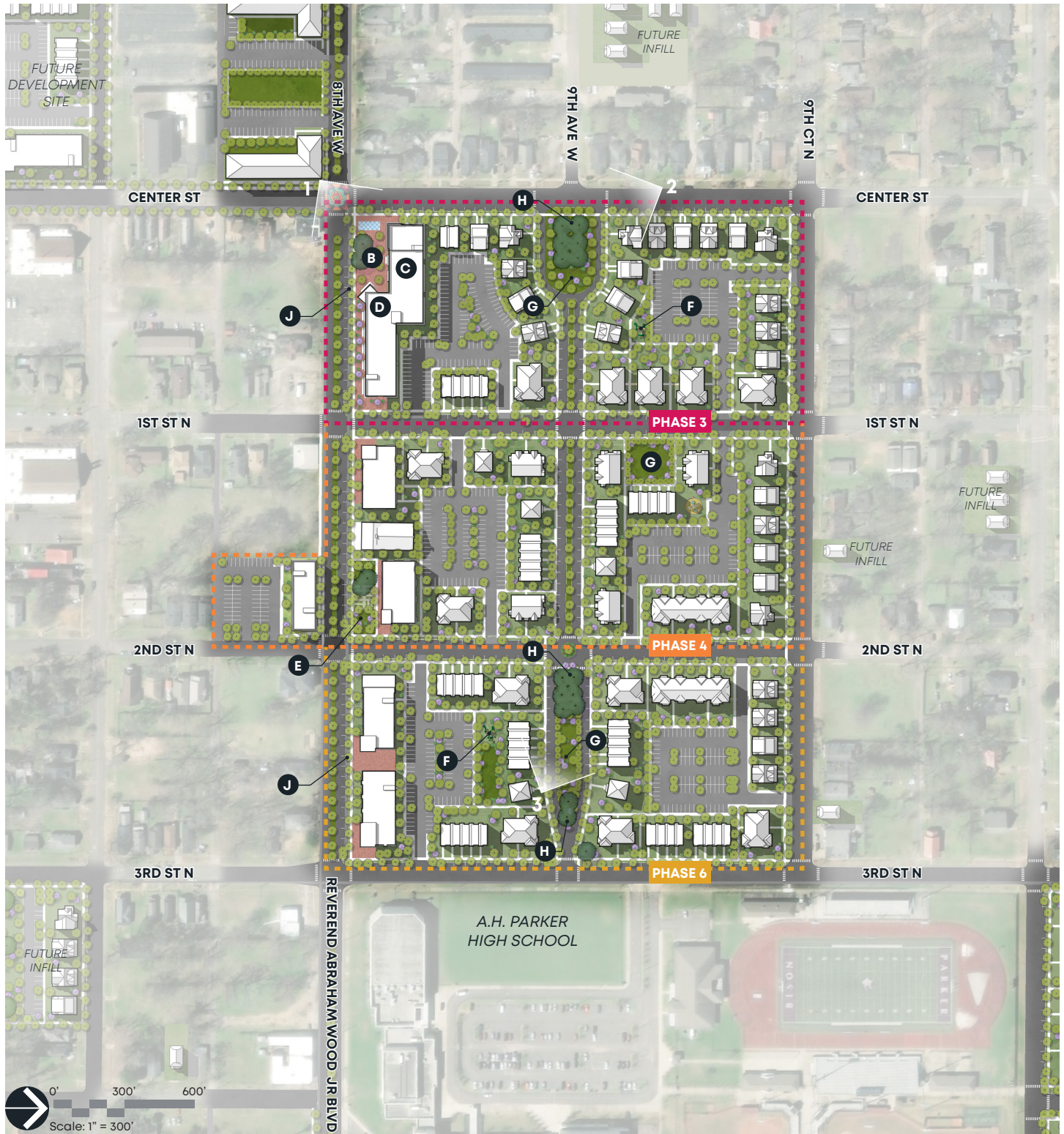
Attachment 34

Conceptual Site Plan Design: Phasing Strategy



Attachment 34

Conceptual Site Plan Design: Smithfield Court + Boulevard Site



PHASE 3 127 Units

A Historic Bethel House

D Social Innovation Center

G Community Park

PHASE 4 153 Units

B Smithfield Square

E Community Garden

H Preservation of Heritage Trees

PHASE 6 149 Units

C Smithfield Library

F Playground

J Bicycle Infrastructure

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Conceptual Site Plan Design: Smithfield Court On-Site Development



1 View from the south side of Reverend Abraham Woods Jr. Boulevard looking northwest

As part of the third phase of the housing plan, the intersection of Center Street and Reverend Abraham Woods Jr. Boulevard will be catalyzed by a multifamily building and plaza currently titled “Smithfield Square.” The ground floor will provide for the relocation of the existing Smithfield Library in a phase four along with the Social Innovation Center in support of the programming and services part of the People Plan implementation. Provisions for protected bike lanes, on-street parking, and a planted median will help to calm traffic and form a complete street as part of the neighborhood plan.



2 View from Center Street looking southeast towards the new Smithfield Court On-Site redevelopment

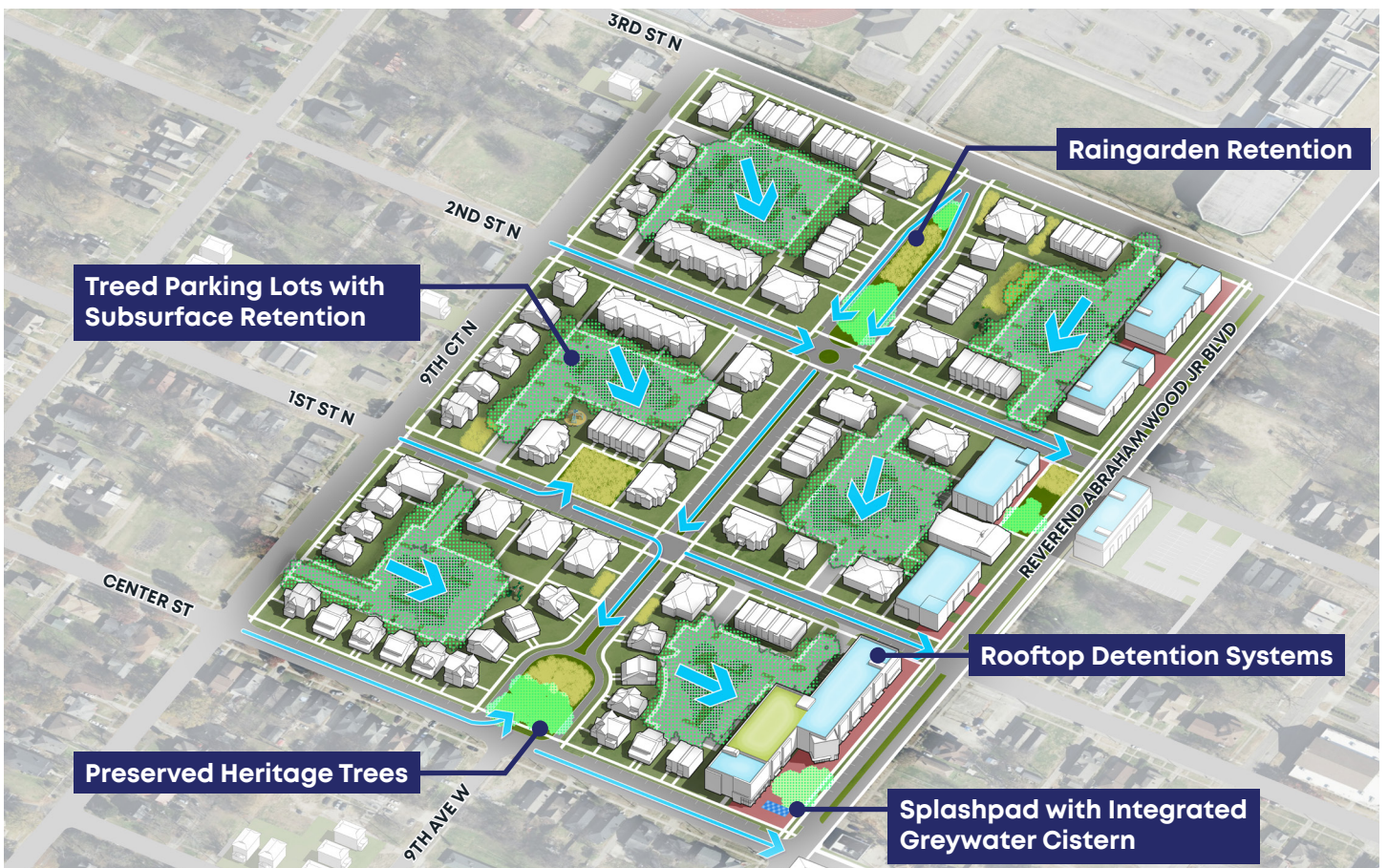
Along Center Street, duplexes mirror the existing single family home styles across the street as a natural transition into the current Smithfield Court site and in deference to the existing architectural character. The roof form “softens” the transition from 1- and 1-1/2 story homes by establishing a 1-story roof line along the street that slopes up to a second story integrating covered porches and roof dormers in keeping with historical and contextual styles of the neighborhood.

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Conceptual Site Plan Design: On-Site Resiliency Strategies



New housing will incorporate a parks and open space plan landscape design that both enriches the neighborhood and addresses resiliency. Within landscaped areas, rain gardens are located for detention and infiltration, bioswales for conveyance of stormwater, and large depressions in parks serve to detain stormwater during heavy rainfall.



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Conceptual Site Plan Design: Senior Living Sites



4 View from 9th Ave W and 3rd St N looking West towards the new Smithfield Court On-Site redevelopment

Phase 1, which includes 101-unit senior-only adaptive reuse and new construction on the site of the former Graymont Elementary School/former JCCEO offices. This site, along with Phase 5 prioritizes making move-once opportunities with particular focus on the elderly and near-elderly community. Phase 5 builds 99 senior-only units within a pair of elevator buildings on the former site of the Smithfield Library and vacant City-owned property along 8th Ave. W adjacent to McLendon Park. These units are in keeping with residents' desire to stay on site or close by, providing proximity for residents to the activity and mix of uses in 'Smithfield Square' and direct access to transit modes in this location.



- | | | | |
|--------------------------|---|--|---|
| PHASE 1 101 Units | A Adaptive Reuse of Historic Graymont School | B New Addition | H Preservation of Heritage Trees |
| PHASE 5 99 Units | C Recreation Space | J Private Property (not included) | |

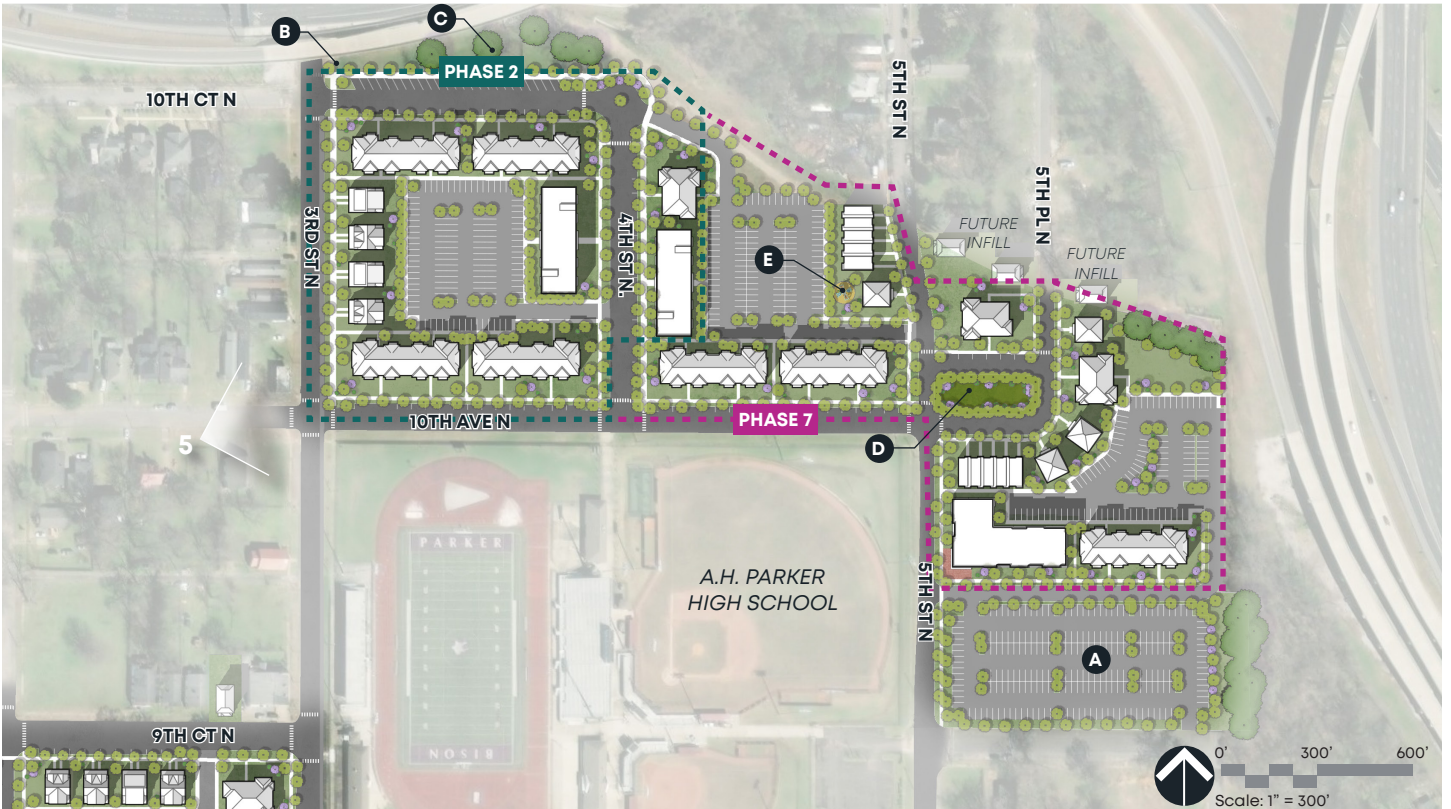
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Conceptual Site Plan Design: A.H. Parker High School Surplus Sites



5 View from 9th Ave W and 3rd St N looking West towards the new Smithfield Court On-Site redevelopment

The Parker High School Surplus site is a family/mixed 55+ community fronting the athletic fields of Parker High School not only enclosing a well-loved community asset but also knitting together formerly isolated residential streets and properties to the northeast.



PHASE 2 151 Units

PHASE 7 140 Units

A Relocated High School Parking Lot

B Potential Trailhead

C Potential Public Park

D Community Park

E Playground